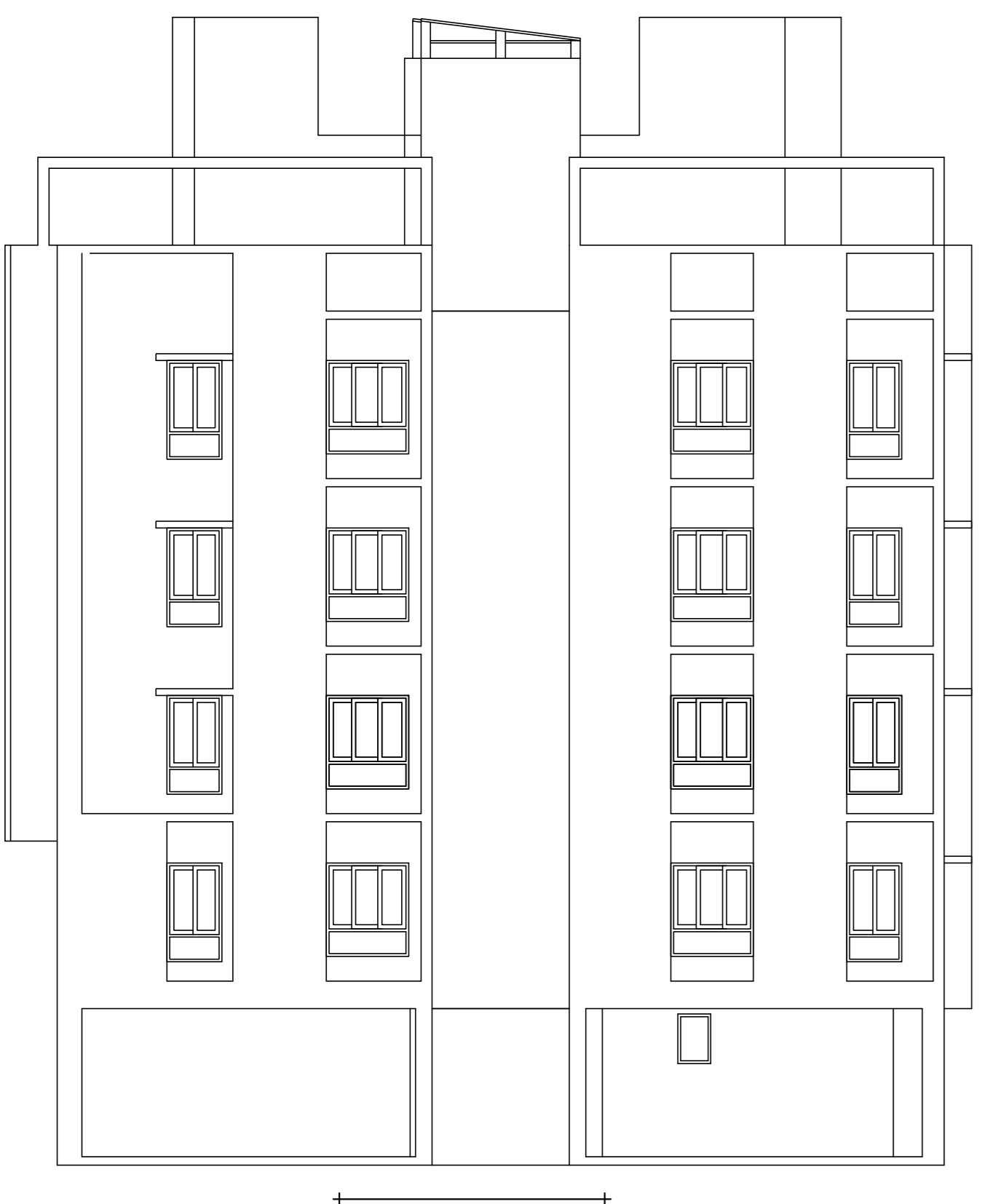


**MAIN CHARACTERISTICS OF PROPOSAL**  
 1. ASSESSEE NO. 411181218981  
 2. DETAILS OF REGISTERED DEED  
 BOOK NO. - I , VOL. NO. - 10 , PAGES NO. - 829 - 870 , DATED - 18-05-2012 BEING NO. 04258 , A.R.A. - I, KOLKATA  
 BOOK NO. - I , VOL. NO. - 1602-2019 , PAGES NO. - 77386 - 77424 , DATED - 15-03-2019 BEING NO. 160202174 ,  
 D.S.R.-II, SOUTH 24 PGS  
 BOOK NO. - I , VOL. NO. - 1602-2019 , PAGES NO. - 77320 - 77353 , DATED - 15-03-2019 BEING NO. 160202172 ,  
 D.S.R.-II, SOUTH 24 PGS  
 BOOK NO. - I , VOL. NO. - 1602-2019 , PAGES NO. - 87096 - 87111 , DATED - 26-03-2019 BEING NO. 160202480 ,  
 D.S.R.-II, SOUTH 24 PGS  
 BOOK NO. - I , VOL. NO. - 1602-2019 , PAGES NO. - 368371 - 368393 , DATED - 05-11-2018 BEING NO. 160210118 ,  
 D.S.R.-II, SOUTH 24 PGS

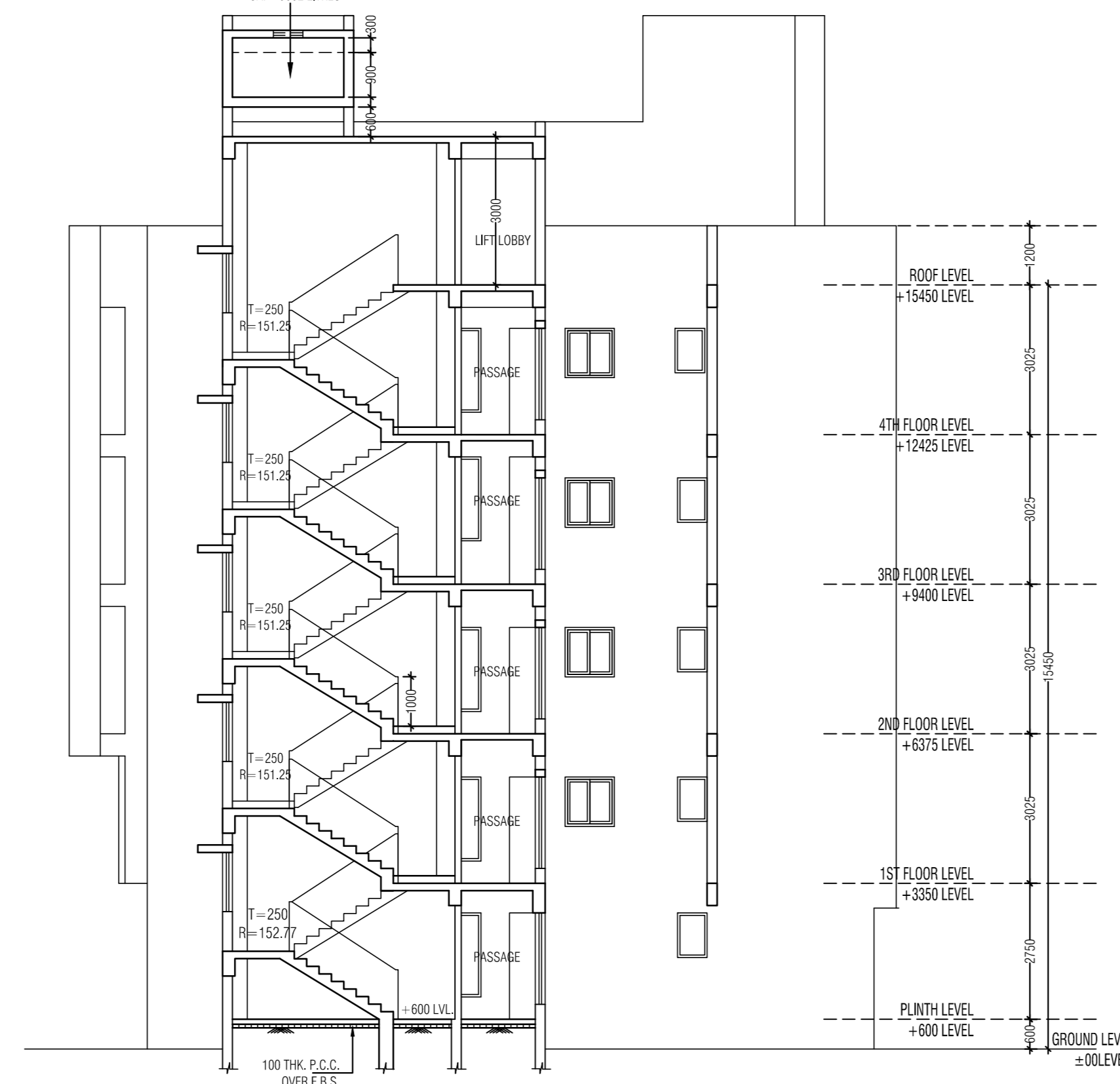
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 BOOK NO. - I , VOL. NO. - 1602-2018 , PAGES NO. - 385138 - 385168 , DATED - 30-11-2018  
 BEING NO. 160211491, D.S.R.-II, SOUTH 24 PGS  
 BOOK NO. - I , VOL. NO. - 1602-2019 , PAGES NO. - 77515 - 77539 , DATED - 15-03-2019  
 BEING NO. 160202227 , D.S.R.-II, SOUTH 24 PGS  
 BOOK NO. - I , VOL. NO. - 1602-2015 , PAGES NO. - 110377 - 110395 , DATED - 03-09-2015  
 BEING NO. 160209185 , D.S.R.-II, SOUTH 24 PGS

3. DETAILS OF REGISTERED OF BOUNDARY DECLARATION -  
 BOOK NO. - I , VOL. NO. - 1604-2021 , PAGE - 60176 TO 60200  
 BEING NO. - 160400998, DATED 25-02-2021, D.S.R. - IV SOUTH 24 PGS.

4. DETAILS OF REGISTERED OF POWER OF ATTORNEY -  
 BOOK NO. - I , VOL. NO. - 1604-2021 , PAGE - 59608 TO 59694  
 BEING NO. - 160400890, DATED 24-02-2021, D.S.R. - IV SOUTH 24 PGS.



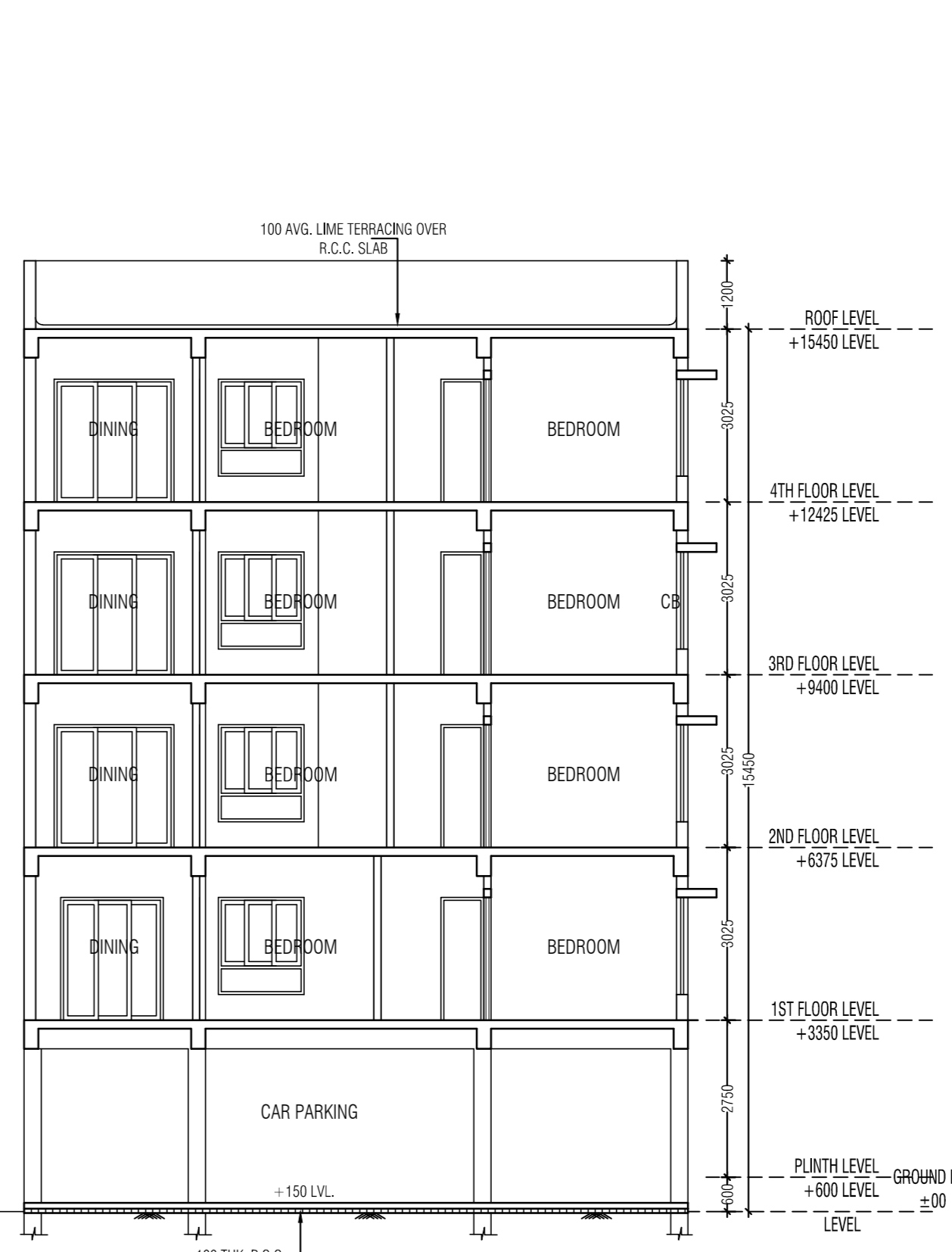
**FRONT ELEVATION**  
SCALE 1:100



**SECTION AT XX**  
SCALE 1:100



**SECTION AT YY**  
SCALE 1:100



**SECTION AT YY**  
SCALE 1:100

WINDOW SCHEDULE				DOOR SCHEDULE			
WINDOW TYPE	SIZE	INTEL	SILL	DOOR TYPE	SIZE	INTEL	
W1	1500 X 1200	2150	450	D1	1500 X 2150	2150	
W2	1000 X 1000	2150	1150	D2	900 X 2150	2150	
W3	800 X 900	2150	1550	D3	800 X 2150	2150	
W4	2500 X 1850	2150	300	D4	750 X 2150	2150	
W5	1200 X 1200	2150	1250	SD1	2100 X 2150	2150	
W6	1800 X 2150	2150	300	SD2	1800 X 2150	2150	
W7	WALL TO WALL	2150	300	SD3	1500 X 2150	2150	

**NOTES**  
 1. ALL DIMENSIONS ARE IN M.M. UNLESS MENTIONED  
 2. ALL EXTERIOR WALLS ARE 200 THK. ALL INTERNAL WALLS ARE 125 THK. 675 THK.  
 3. DEPTH OF SEPTIC TANK & U.G. IS TO BE AS PER THE DEPTH OF FOUNDATION.  
 4. ALL SORTS OF PRECAST/PREFABRICATED ITEMS ARE TO BE TAKEN DURING CONSTRUCTION OF WORK.  
 5. P.C.C. = 1:4:8 & FOR R.C.C. GRADE OF CONCRETE IS M-20. GRADE OF STEEL IS FE-415.

**SPECIFICATION**  
 MORTAR FOR BRICK FOR 250 & 200 THK. 1:6 & FOR 125 OR 75 THK. 1:4. FIRST CLASS SHALL BE USED.  
 SAND CEMENT PLASTER FOR EXTERIOR 4:1 FOR WALL & 1:1 FOR CEILING.  
 DOOR, WINDOW FRAME TO BE WOODEN OR STEEL OR ALUMINIUM.  
 ALL MATERIALS SHALL BE CLEAN AND FREE FROM ORGANIC SUBSTANCES. ADEQUATE CURING SHALL BE DONE.  
 POTABLE WATER SHALL BE USED FOR CONSTRUCTION WORK.

CERTIFIED THAT THE STRUCTURAL DESIGN & DRAWING OF BOTH FOUNDATION AND SUPER STRUCTURE OF THE BUILDING HAS BEEN DRAWN BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOADS AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECTS. SOIL TESTING REPORT HAS BEEN DONE BY RUPAK KUMAR BANERJEE. THE LOAD BEARING CAPACITY IS TAKEN ACCORDING TO SOIL REPORT.

RUPAK KUMAR BANERJEE  
 CIVIL ENGINEER  
 SATYAJIT MONDAL  
 ESE/06/27  
 NAME OF STRUCTURAL ENGINEER

SHREYA GHOSH DASTAR  
 CA/2017/83602  
 NAME OF ARCHITECT

AS CONSTITUTED ATTORNEY IN FAVOR OF SHREYA GHOSH DASTAR & RUPAK KUMAR BANERJEE  
 ARCHITECT DEVELOPERS LLP  
 NAME OF OWNER

I DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT I SHALL ENGAGE L.B.S & ESE DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN). K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING & ADDITIONAL STRUCTURE. THE PLOT IS IDENTIFIED BY ME AND IF ANY SUBMITTED DOCUMENT ARE FAKE, THE K.M.C. AUTHORITY WILL REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF U.G.W.R. TAKEN UNDER THE GUIDANCE OF ARCHITECT / ESE BEFORE STARTING OF BUILDING FOUNDATION.

1A AREA OF LAND AS PER DEED (17 COTTAGE B CHATAK 1) = 1170.568 SQM

1B AREA OF LAND AS PER PHYSICAL (15 COTTAGE B CHATAK 15 SFT.) = 1029.809 SQM

2 MAX. PERMISSIBLE GROUND COVERAGE @50% = 514.9045 SQM 48.00%

3 PROPOSED GROUND COVERAGE = 513.758 SQM 48.99%

4 PROPOSED BUILDING HEIGHT = 15.45 M

5 PROPOSED AREA:

FLOOR	TOTAL COVERED AREA SQM	STAIR WELL AREA SQM	LIFT WELL AREA SQM	OUT DUCT AREA SQM	GROSS FLOOR AREA SQM	STAR & STAIR LOBBY SQM	LIFT LOBBY SQM	NET FLOOR AREA SQM
A GROUND	535.526	---	---	34.189	501.338	22.5	6	472.838
B FIRST	535.526	---	---	35.388	494.438	22.5	6	465.538
C SECOND	547.947	---	---	35.388	506.859	22.5	6	478.359
D THIRD	547.947	---	---	35.388	506.859	22.5	6	478.359
E FOURTH	547.947	---	---	35.388	506.859	22.5	6	478.359
TOTAL	2144.893	0	0	228.8	1974.24	225.5	30	2233.853

6 TENEMENTS & CAR PARKING CALCULATION

TENEMENT	TENEMENT SIZE (SQM)	PROPORTIONAL AREA TO BE ALLOTTED (SQM)	ACTUAL TENEMENT AREA (SQM)	NO OF TENEMENT	REQUIRED PARKING	PROPOSED PARKING
A	75.246	18.018	63.264	4	10 NOS	COVERED: 16 NOS
B1	75.600	17.959	62.959	1	10 NOS	OPEN: 08 NOS
C	65.644	15.719	61.303	4	1000SQM	TOTAL = 29 NOS
D1	77.194	18.484	64.678	1	21 NOS	
E1	75.481	18.074	63.555	1	10 NOS	
F	65.644	15.719	61.303	4	10 NOS	
B2	78.559	19.689	67.142	3	10-2000SQM	
D2	83.007	19.878	102.863	3	3 NOS	
E2	78.231	18.733	66.864	3	13 NOS	
TOTAL	788.231	188.733	668.864	14	14 NOS	

7 PROPOSED AREA OF PARKING = 317.435 SQM

8 PERMISSIBLE PARKING AREA (25 X14) = 350.000 SQM

9 MAX. PERMISSIBLE P.A.R. = 2.000

10 PROPOSED P.A.R. = 1.997

11 CURBROAD AREA = 41.008 SQM 1.631%

12 ROOF AREA = 513.758 SQM

13 STAR HEADROOM AREA = 30.170 SQM

14 STAR HEADROOM HEIGHT = 3.000 M

15 LIFT MACHINE ROOM AREA = 20.353 SQM

16 OVERHEAD TANK AREA = 15.370 SQM

17 OVERHEAD TANK BASE HEIGHT = 0.600 M

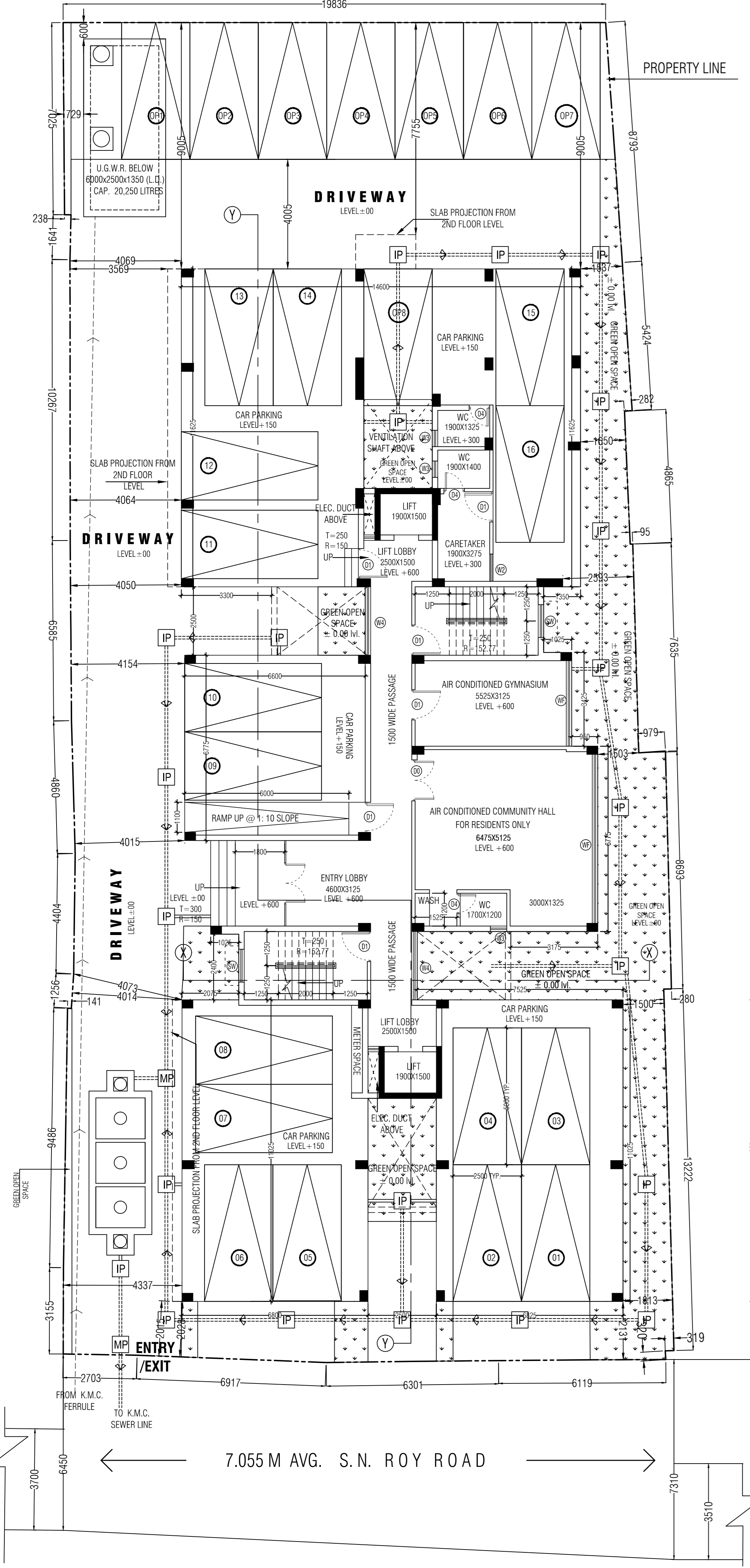
18 PERGOLA AREA = 9.783 SQM

19 TREE COVER AREA = 142.795 SQM 13.857%

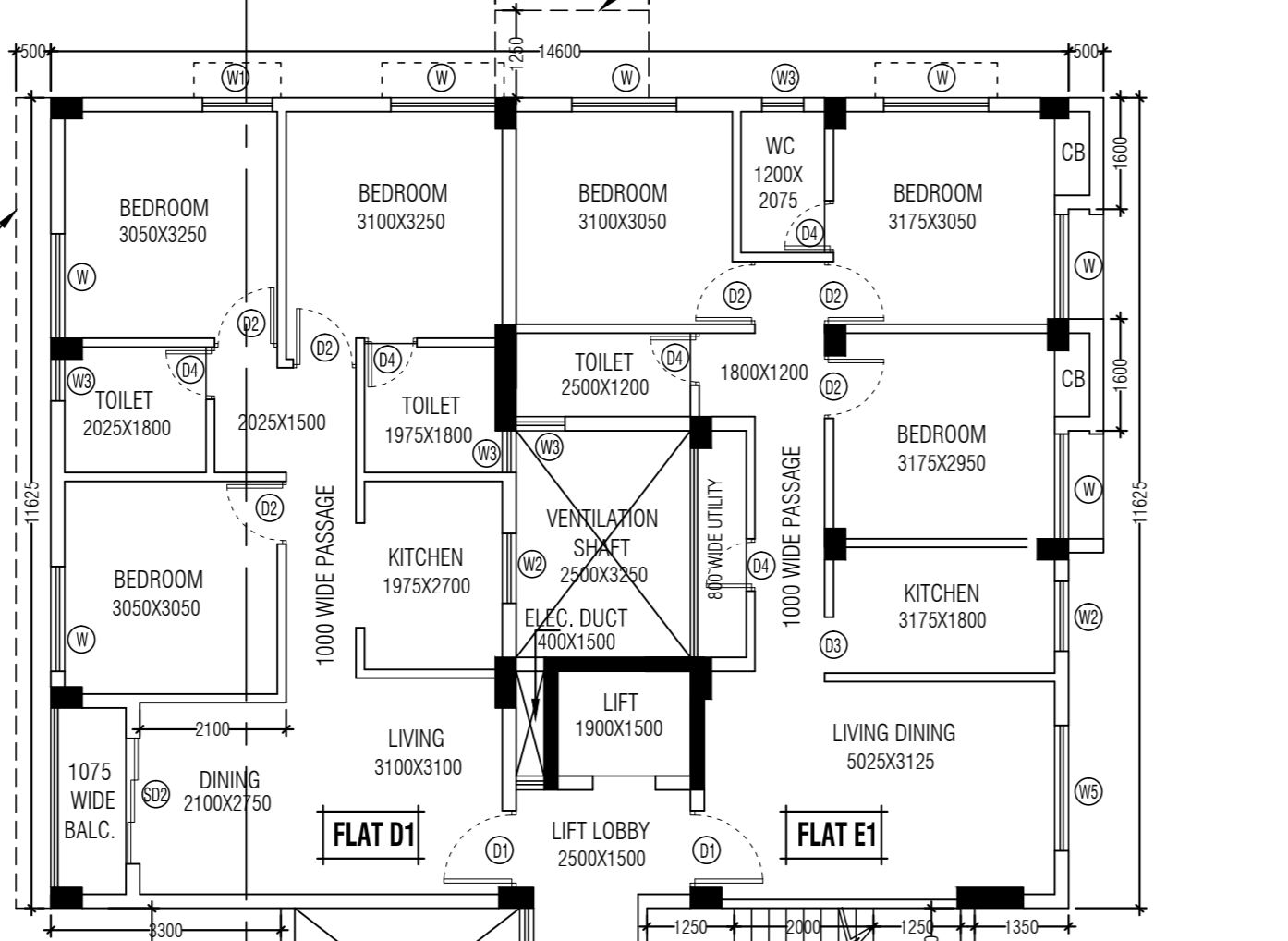
20 ASSEMBLY = 64.351 SQM

(a) COVERED AREA = 58.453 SQM

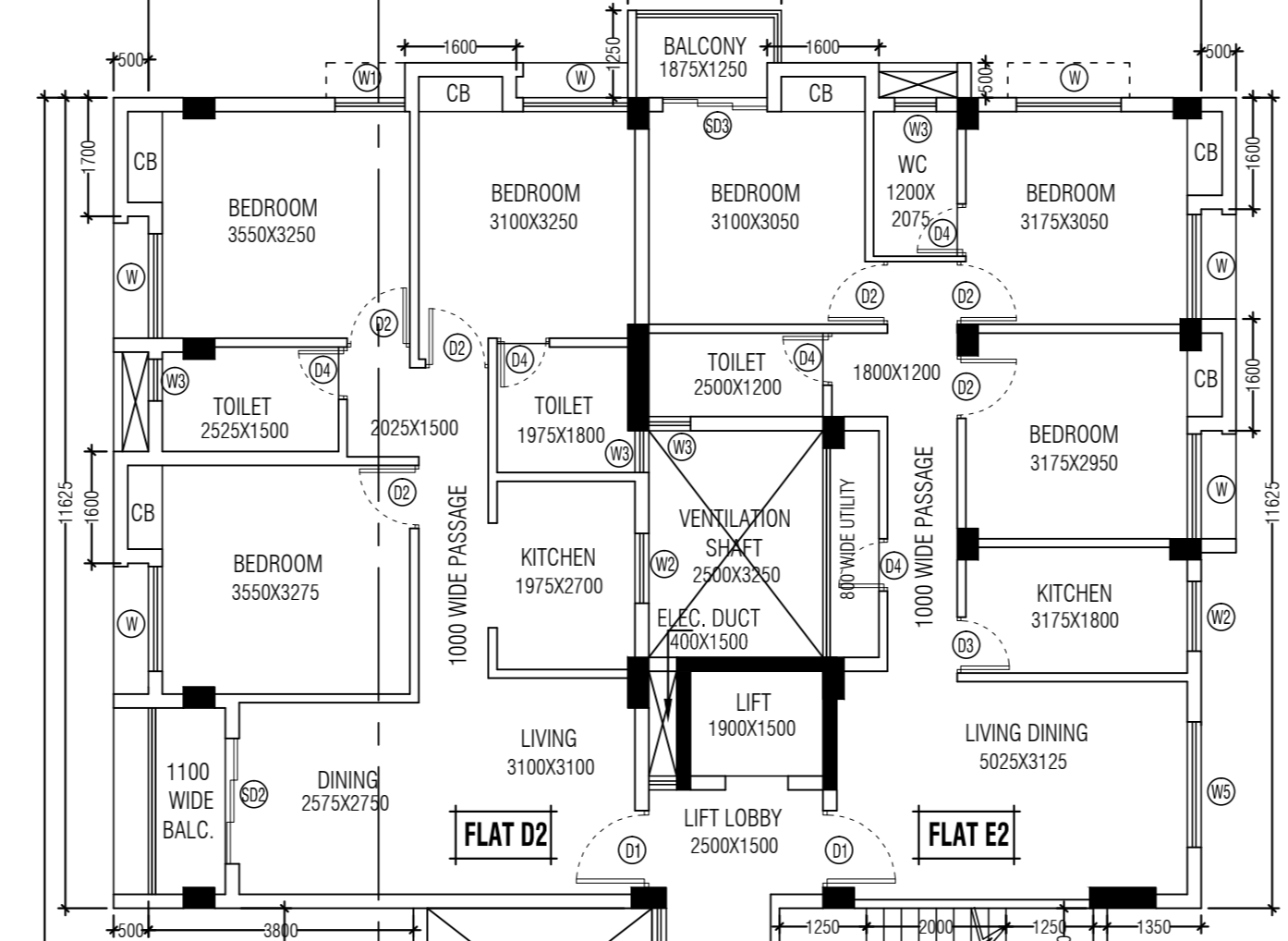
(b) CARPET AREA = 58.453 SQM



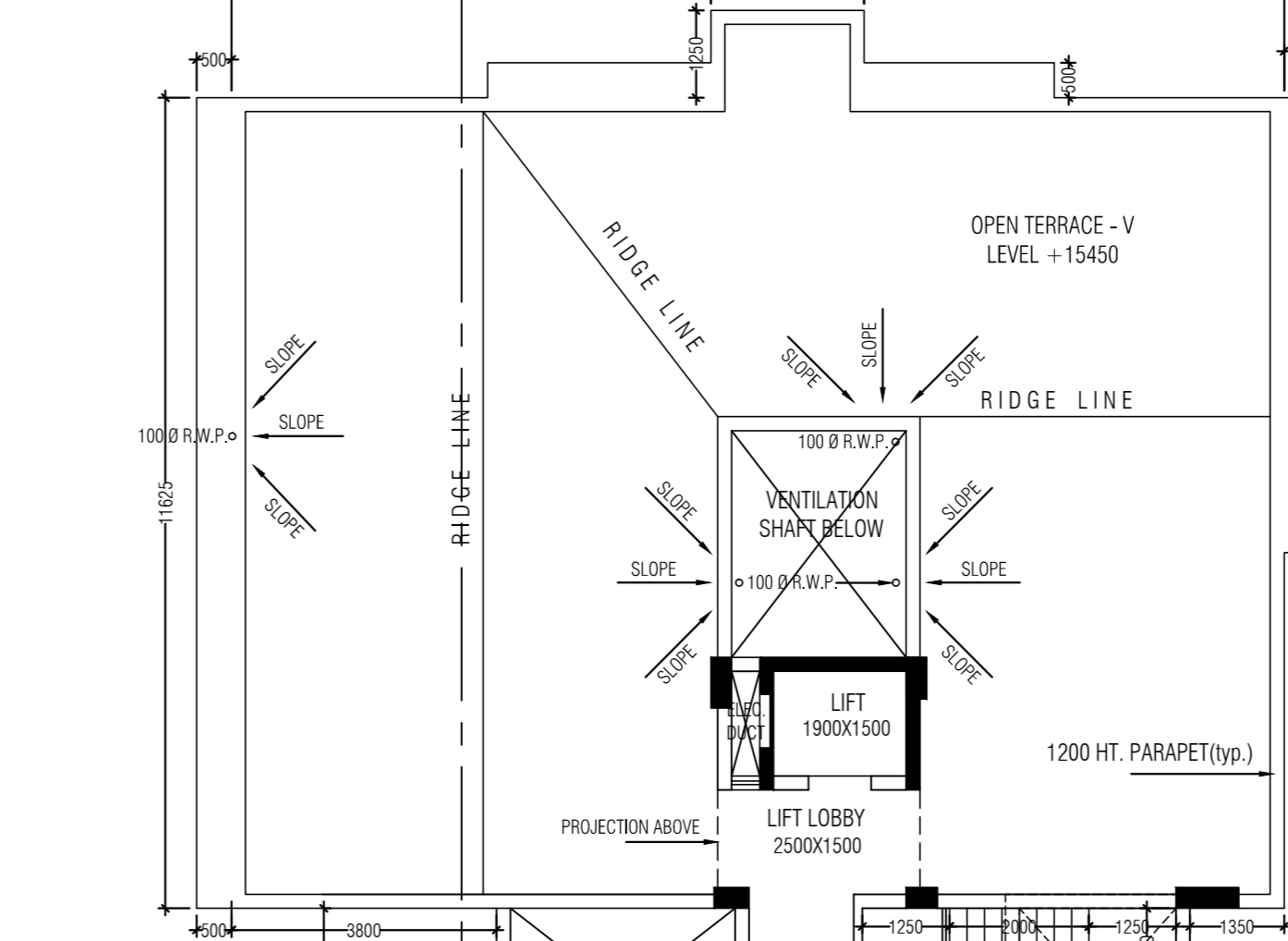
**GROUND FLOOR PLAN**  
SCALE 1:100



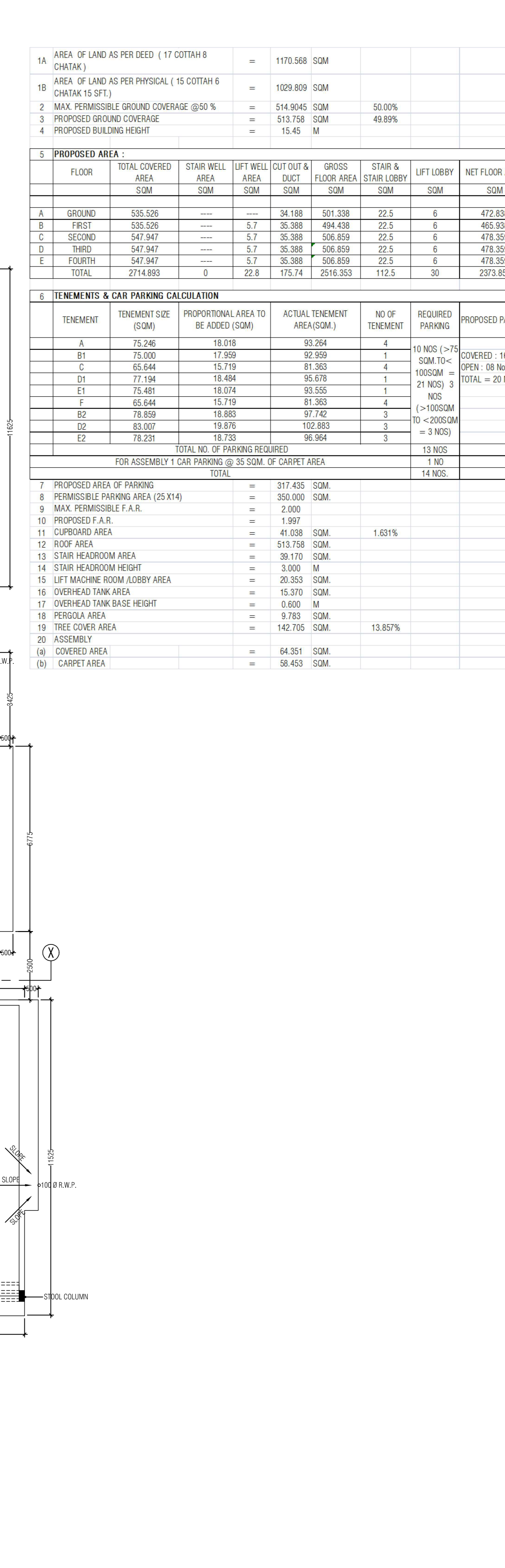
**TYPICAL FLOOR PLAN (2ND TO 4TH FLOOR)**  
SCALE 1:100



**TYPICAL FLOOR PLAN (2ND TO 4TH FLOOR)**  
SCALE 1:100

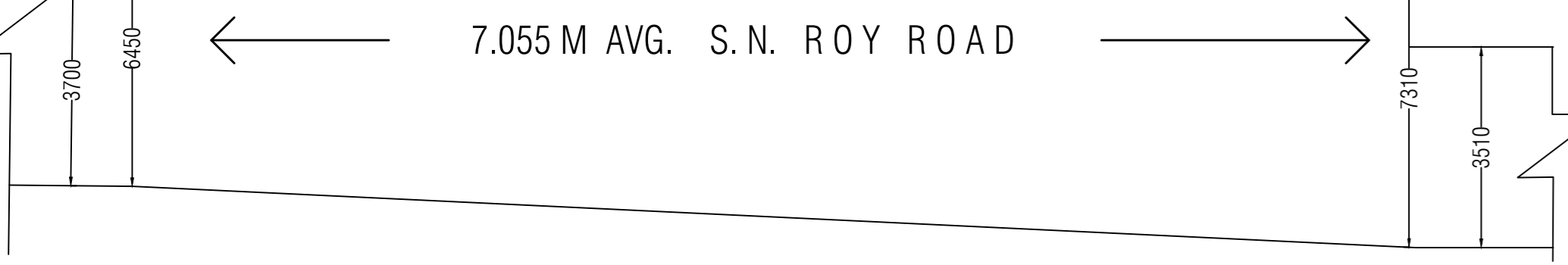


**ROOF PLAN**  
SCALE 1:100



**ROOF PLAN**  
SCALE 1:100

DIGITAL SIGNATURE OF AE



7.055 M AVG. S.N. ROY ROAD